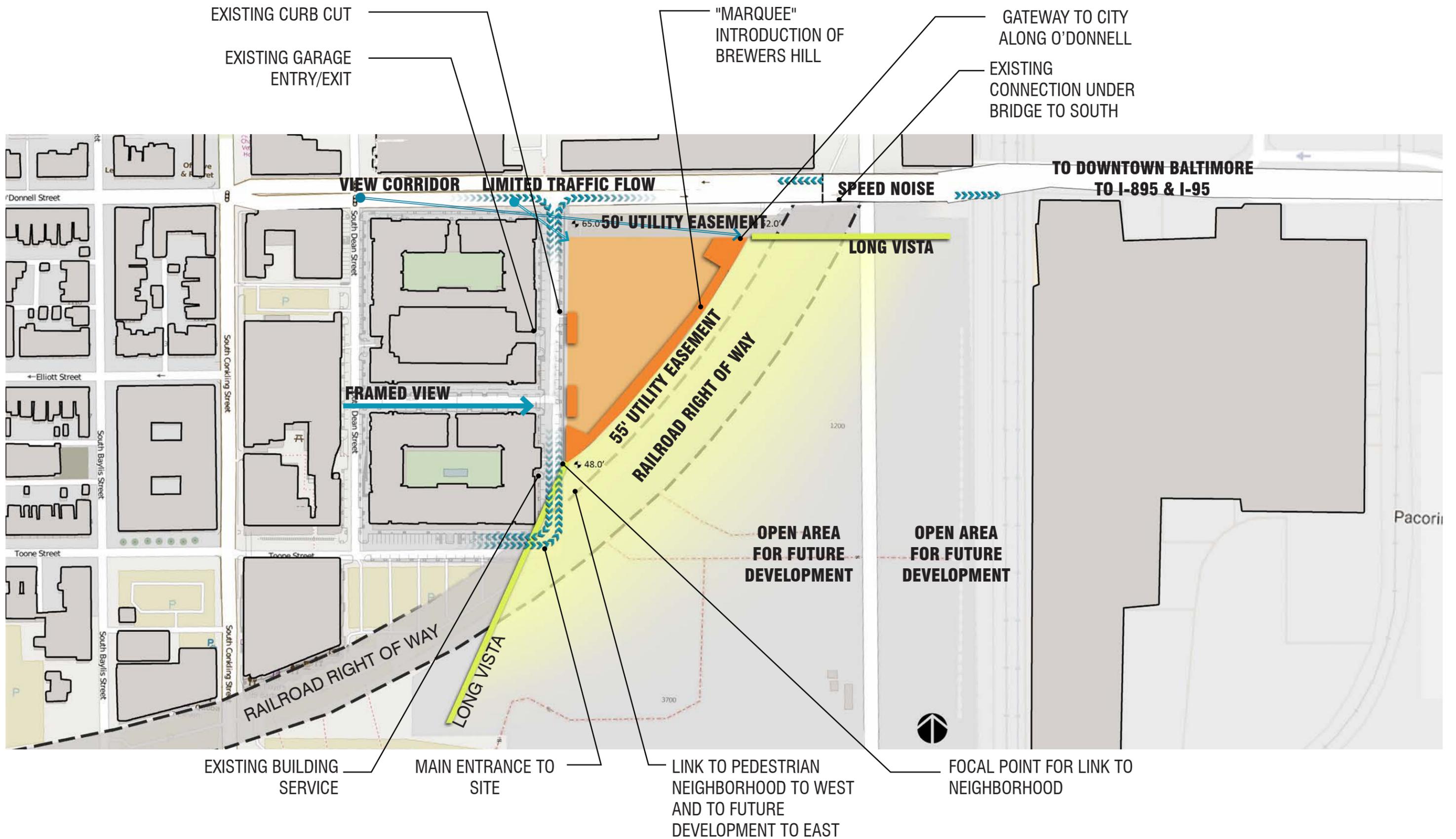




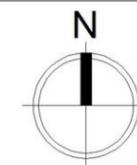
THE NATIONAL

BREWERS HILL LOT 6C | BALTIMORE, MD.

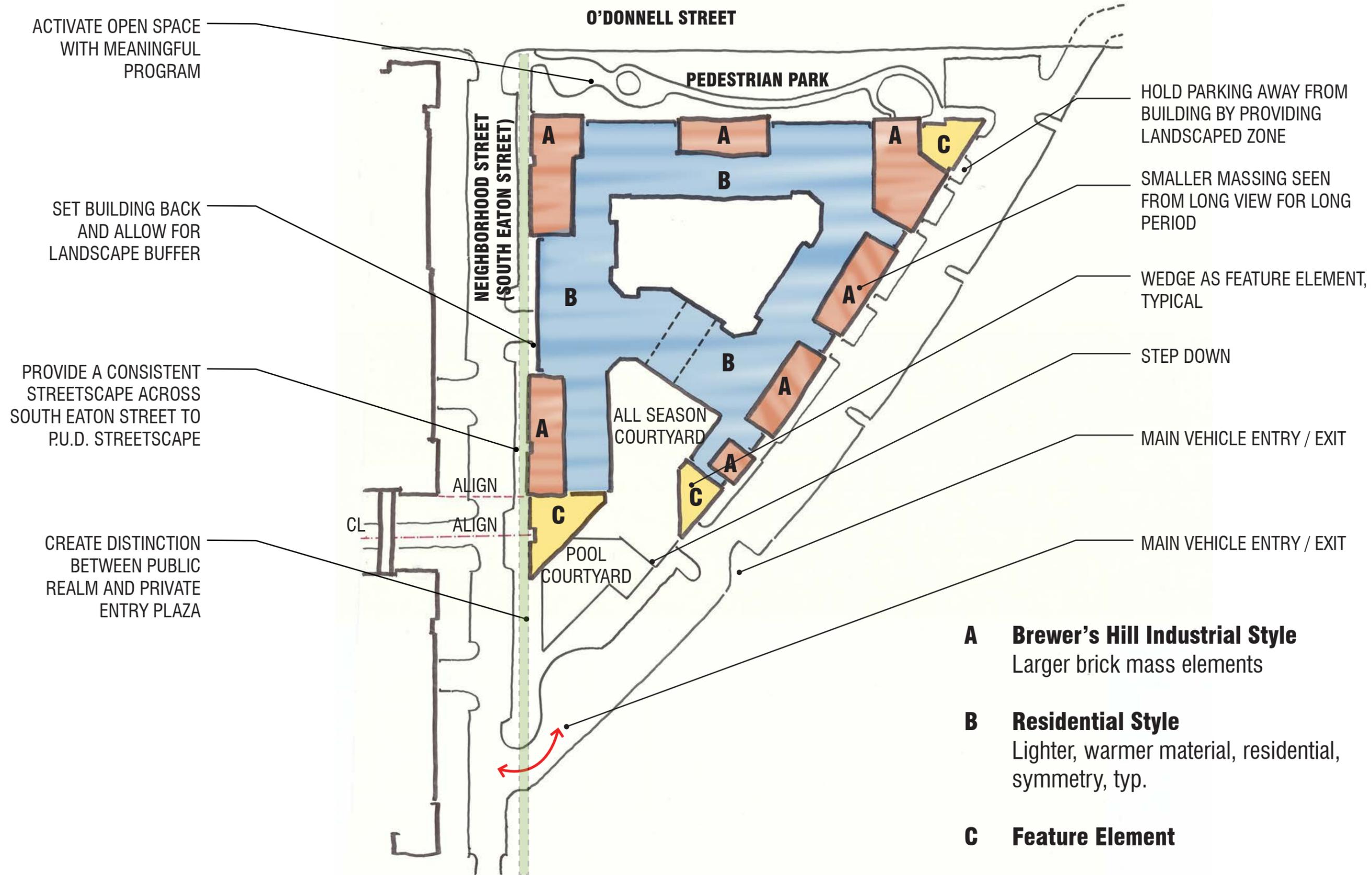
UDARP PRESENTATION - SCHEMATIC DESIGN



SITE INFLUENCES



JDAVIS ARCHITECTS EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF JDAVIS ARCHITECTS, P.C.



ACTIVATE OPEN SPACE WITH MEANINGFUL PROGRAM

SET BUILDING BACK AND ALLOW FOR LANDSCAPE BUFFER

PROVIDE A CONSISTENT STREETScape ACROSS SOUTH EATON STREET TO P.U.D. STREETScape

CREATE DISTINCTION BETWEEN PUBLIC REALM AND PRIVATE ENTRY PLAZA

O'DONNELL STREET

PEDESTRIAN PARK

NEIGHBORHOOD STREET (SOUTH EATON STREET)

ALL SEASON COURTYARD

POOL COURTYARD

HOLD PARKING AWAY FROM BUILDING BY PROVIDING LANDSCAPED ZONE

SMALLER MASSING SEEN FROM LONG VIEW FOR LONG PERIOD

WEDGE AS FEATURE ELEMENT, TYPICAL

STEP DOWN

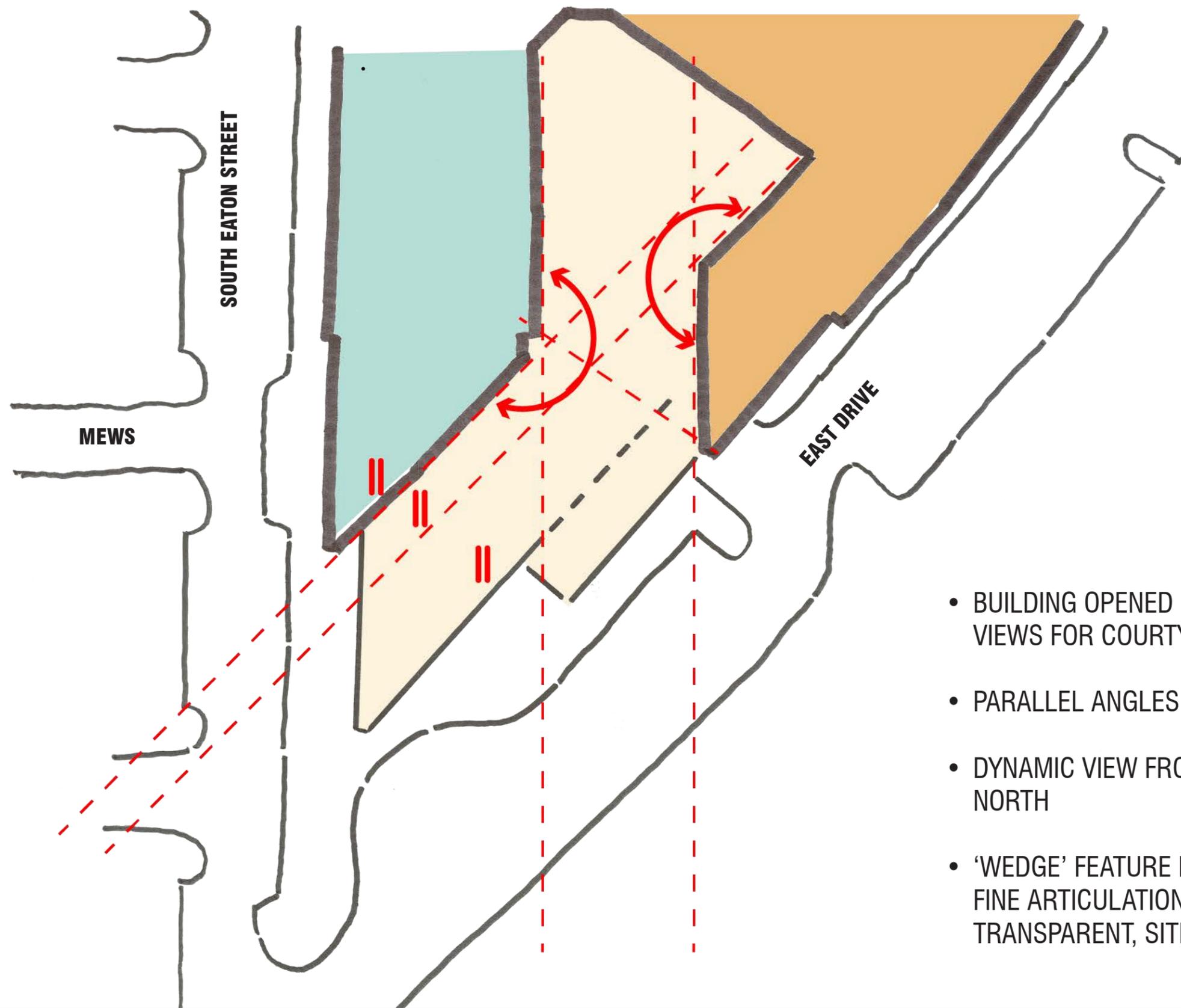
MAIN VEHICLE ENTRY / EXIT

MAIN VEHICLE ENTRY / EXIT

A Brewer's Hill Industrial Style
Larger brick mass elements

B Residential Style
Lighter, warmer material, residential, symmetry, typ.

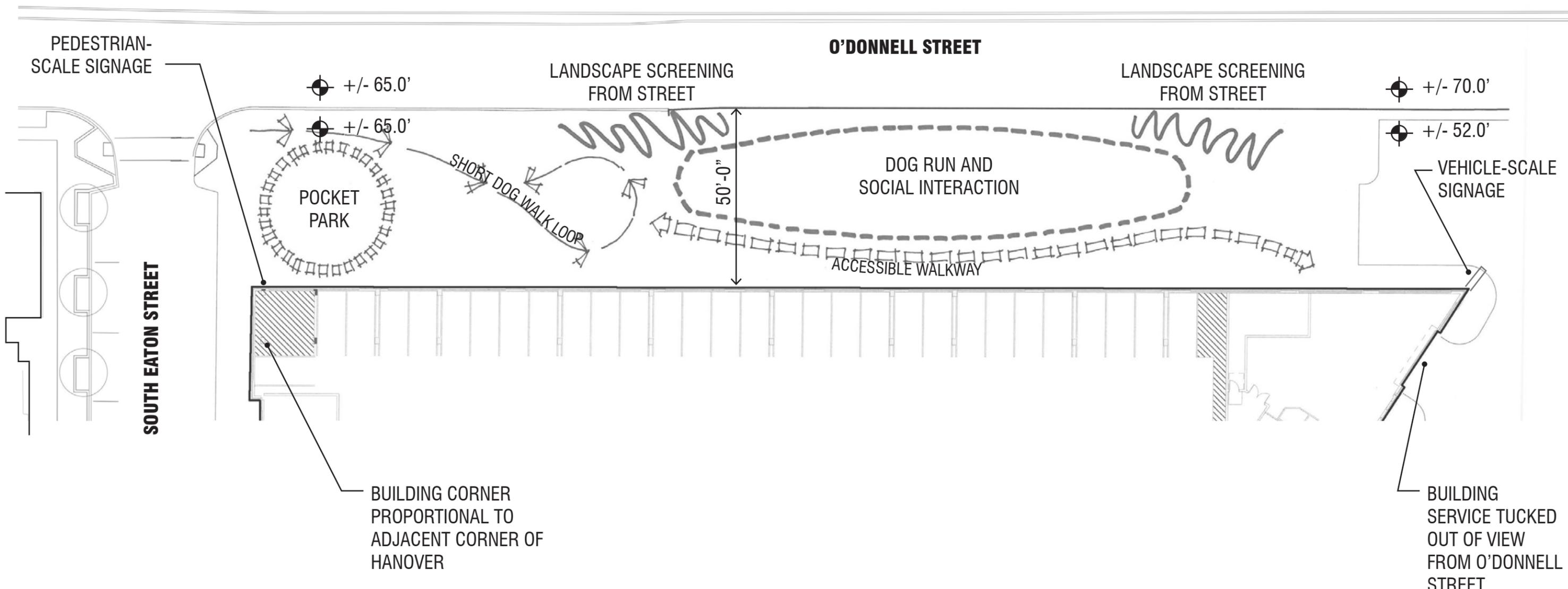
C Feature Element



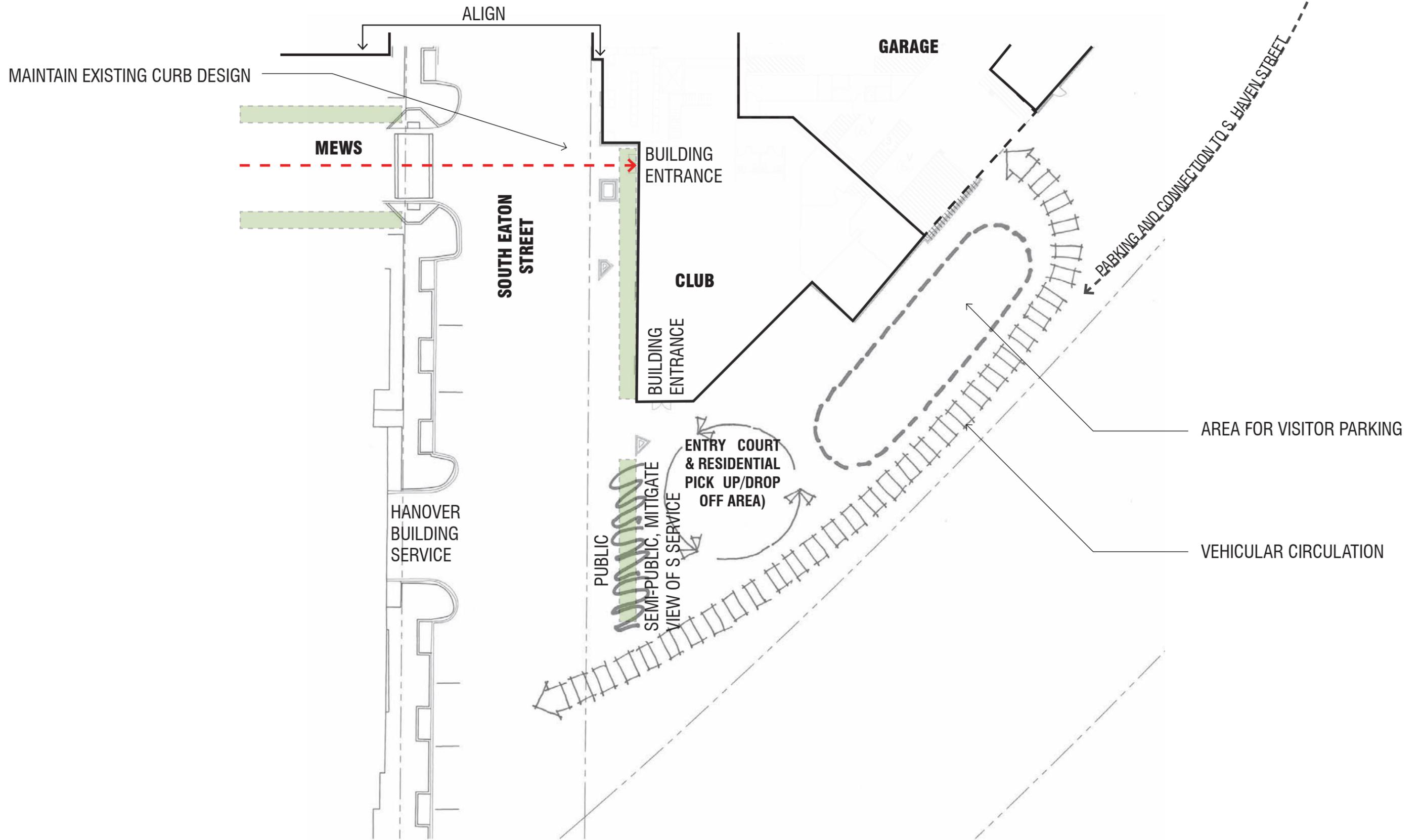
- BUILDING OPENED UP TO CREATE VIEWS FOR COURTYARD UNITS
- PARALLEL ANGLES AT WEST SIDE
- DYNAMIC VIEW FROM SOUTH LOOKING NORTH
- 'WEDGE' FEATURE ELEMENT, PLANAR, FINE ARTICULATION, LINEAR, TRANSPARENT, SITE SHAPE

BUILDING DIAGRAM - SOUTH





SITE DIAGRAM -NORTH LANDSCAPE



SITE DIAGRAM -SOUTHEAST ENTRY



LIMITED VEHICLE
SITE ENTRANCE

PEDESTRIAN
SITE ACCESS

VEHICLE
GARAGE
ENTRANCE

SECONDARY
PEDESTRIAN
ENTRANCE

MAIN
PEDESTRIAN
ENTRANCE

PRIMARY
VEHICLE SITE
ENTRANCE

O'DONNELL STREET

INNER COURTYARD

EAST DRIVE

SOUTH EATON STREET

MEWS

POOL
COURTYARD

MINOR VEHICLE
SITE ENTRANCE

SERVICE

VEHICLE GARAGE
ENTRANCE

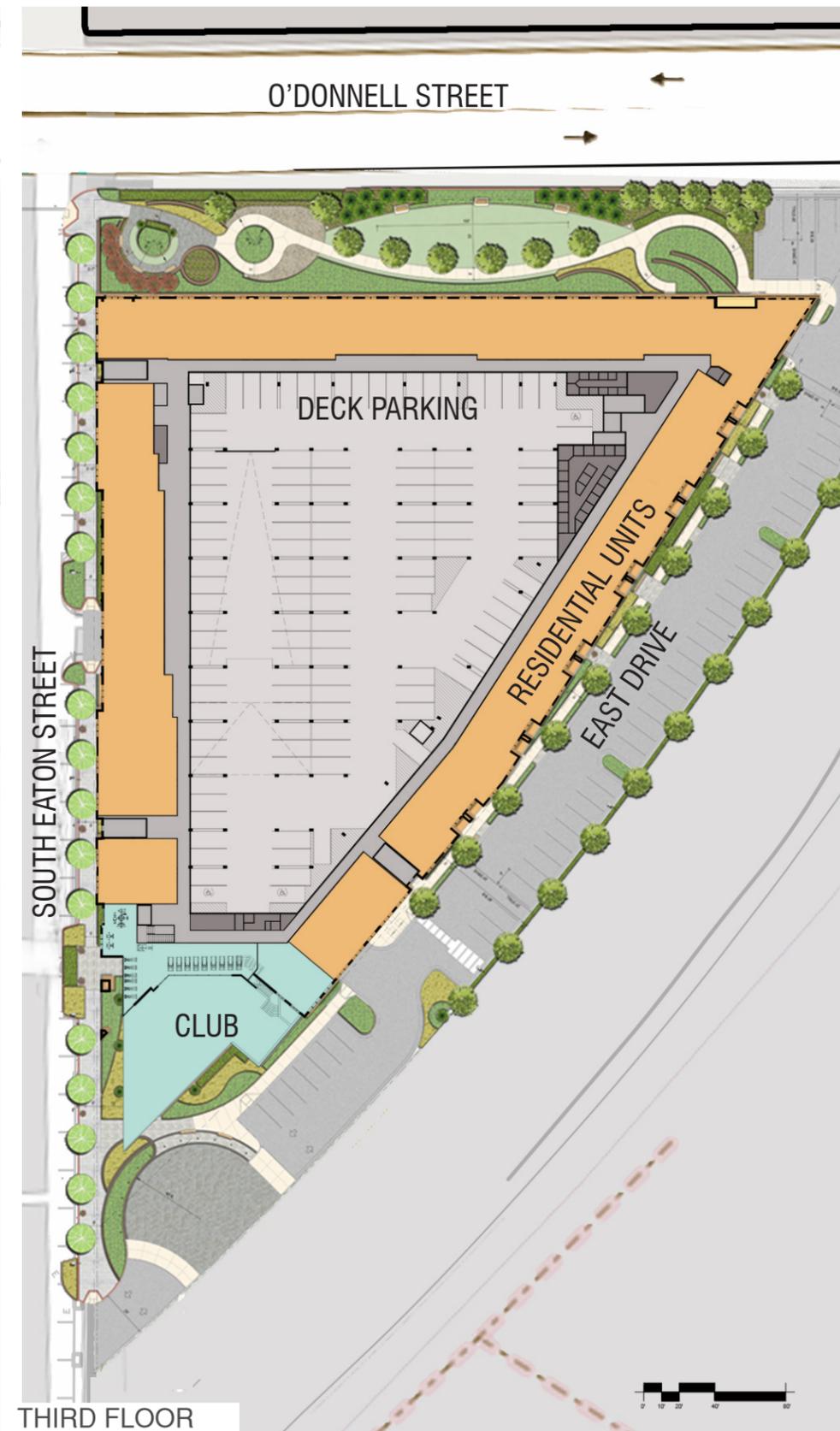
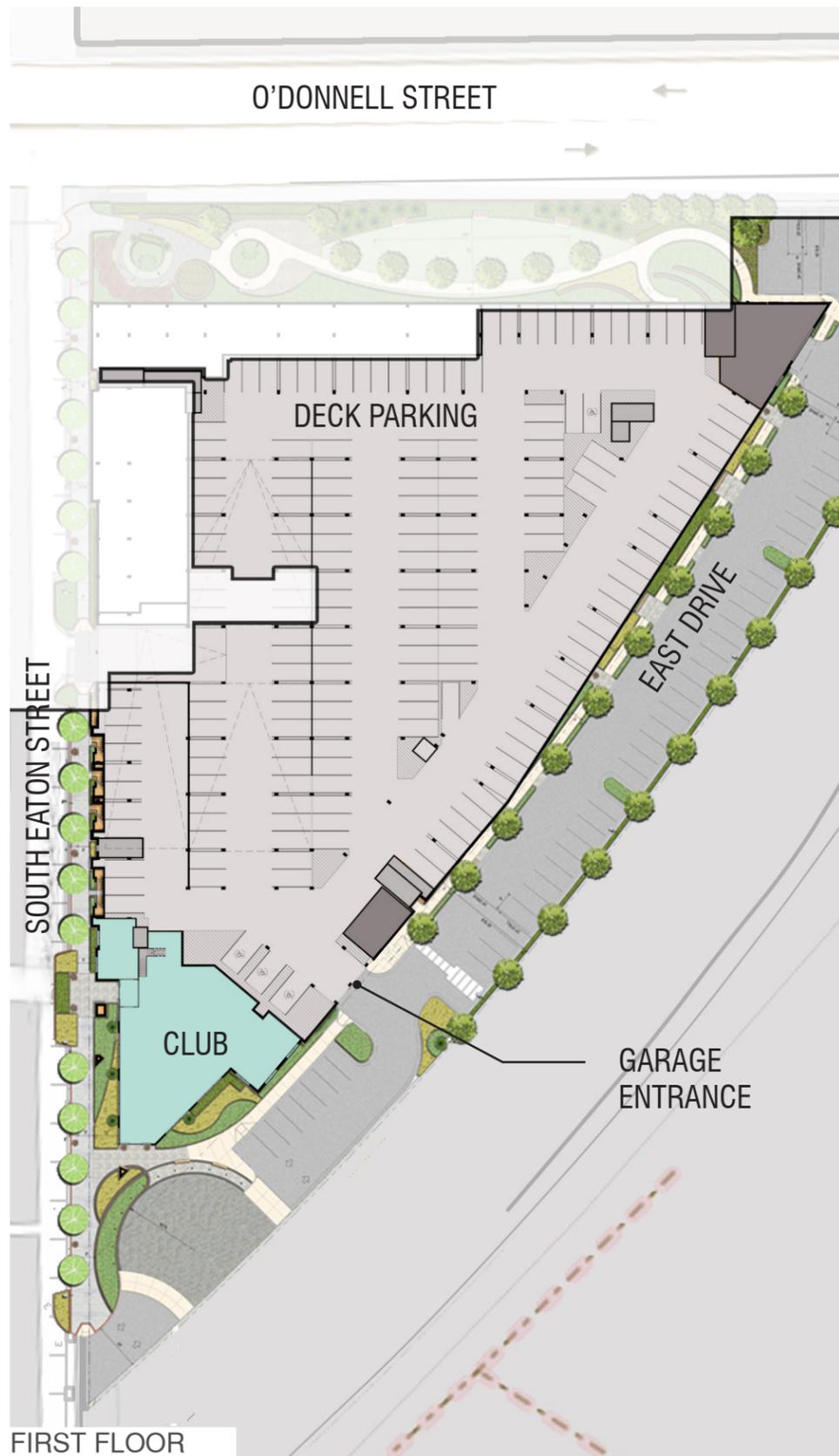
PEDESTRIAN PLAZA

S. HAVEN STREET

REVISED SITE PLAN

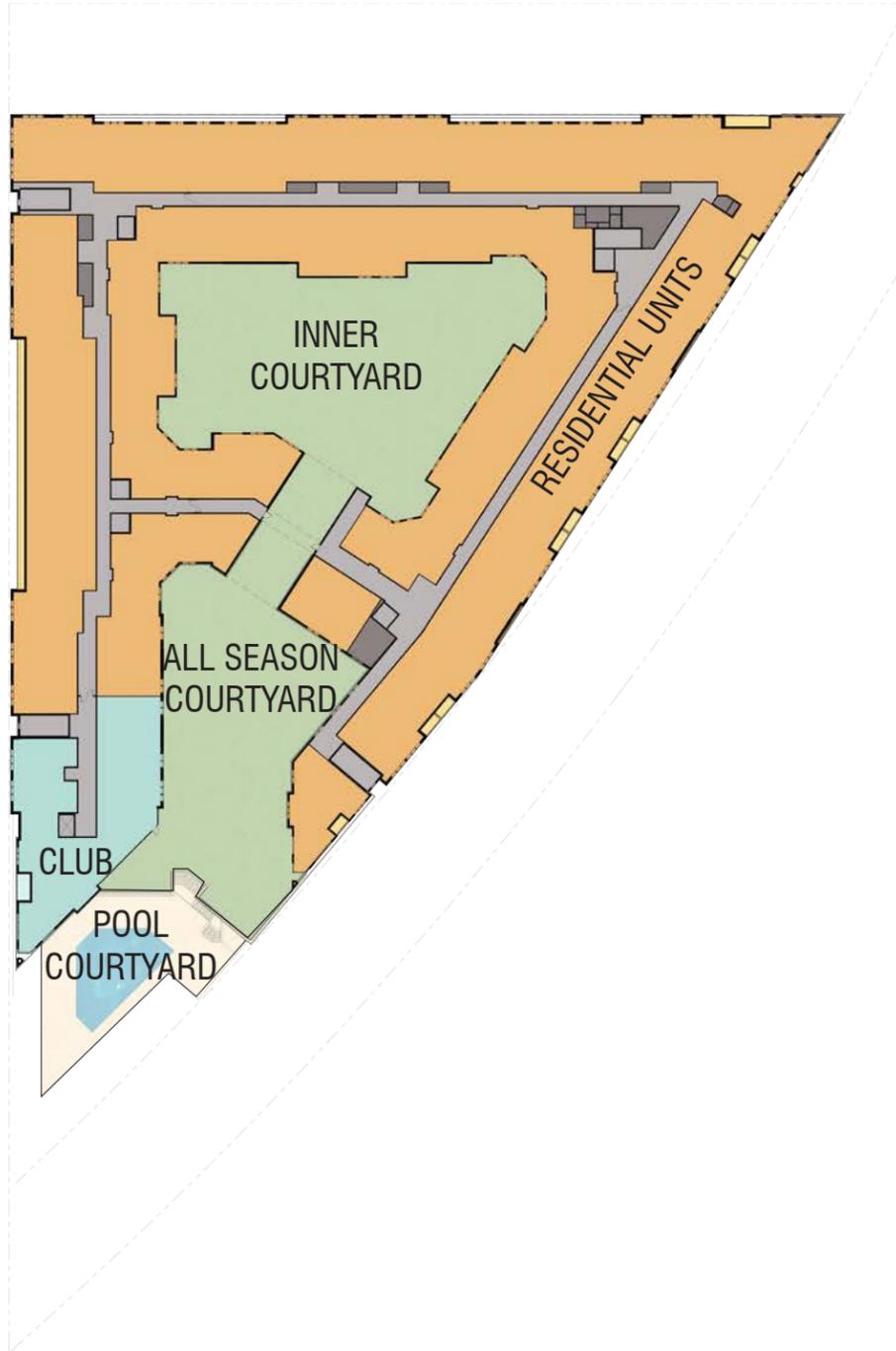


JDAVIS ARCHITECTS EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF JDAVIS ARCHITECTS, PLLC

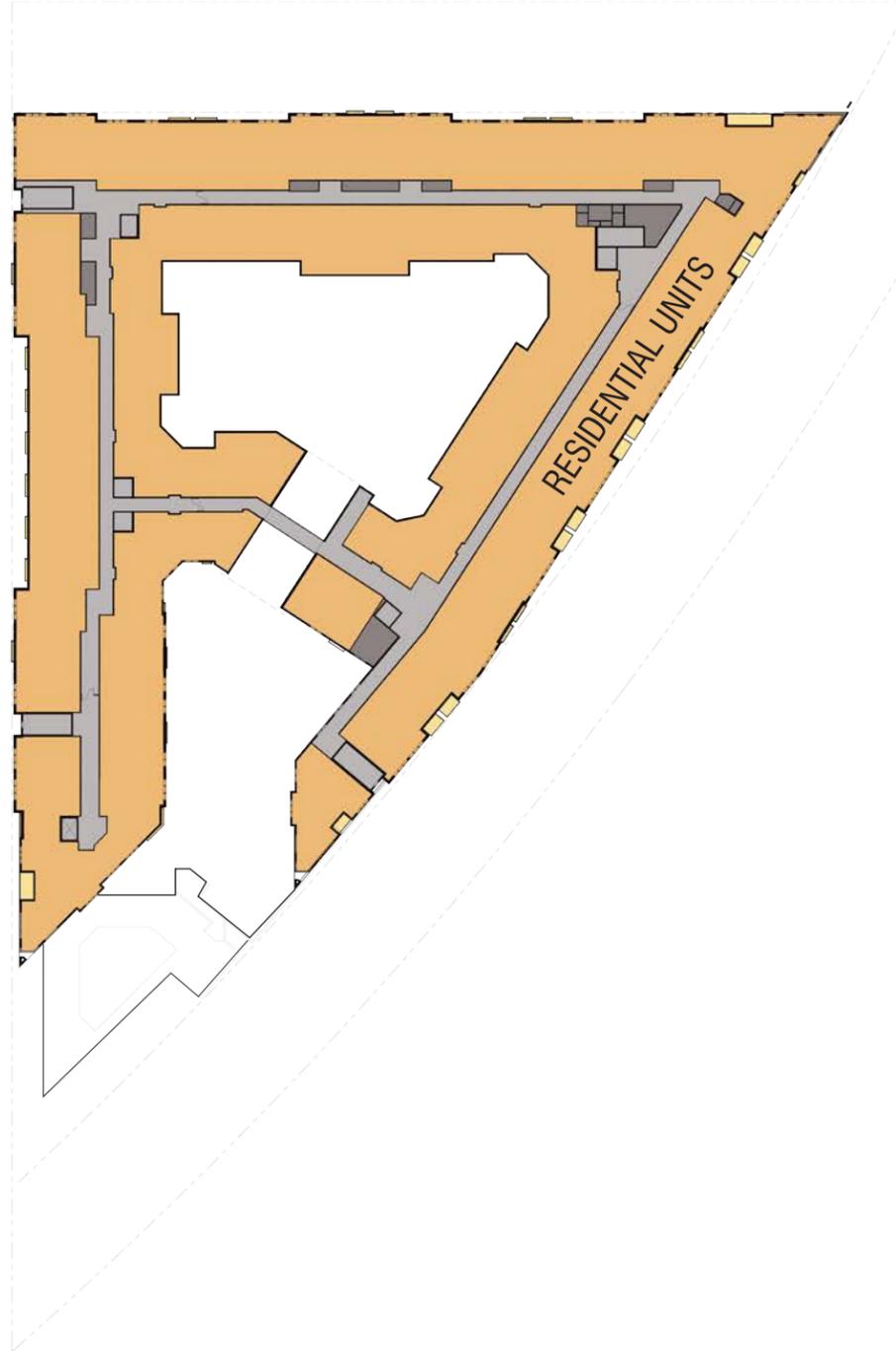


BUILDING PLANS - BELOW PODIUM

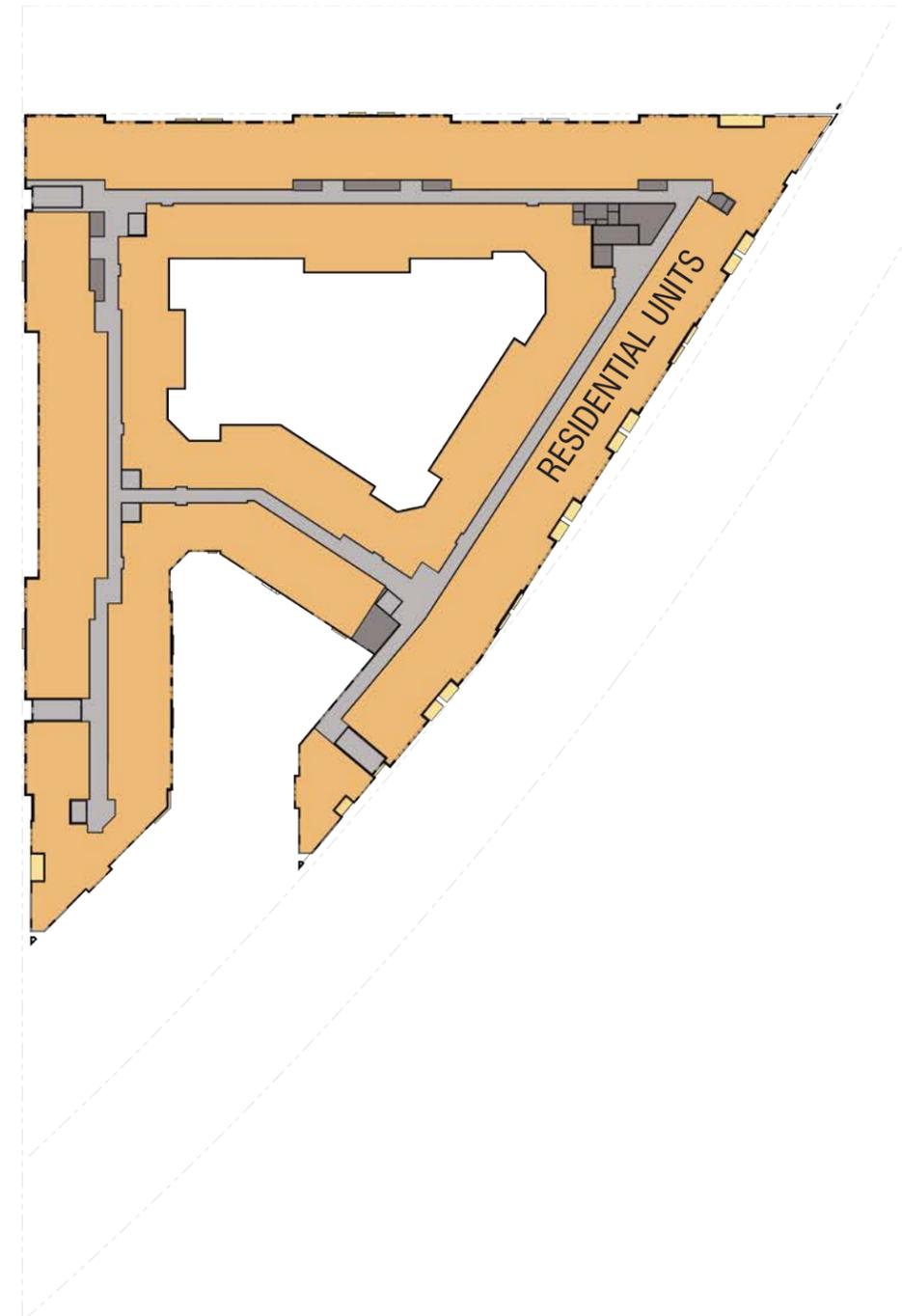




FOURTH FLOOR



FIFTH FLOOR



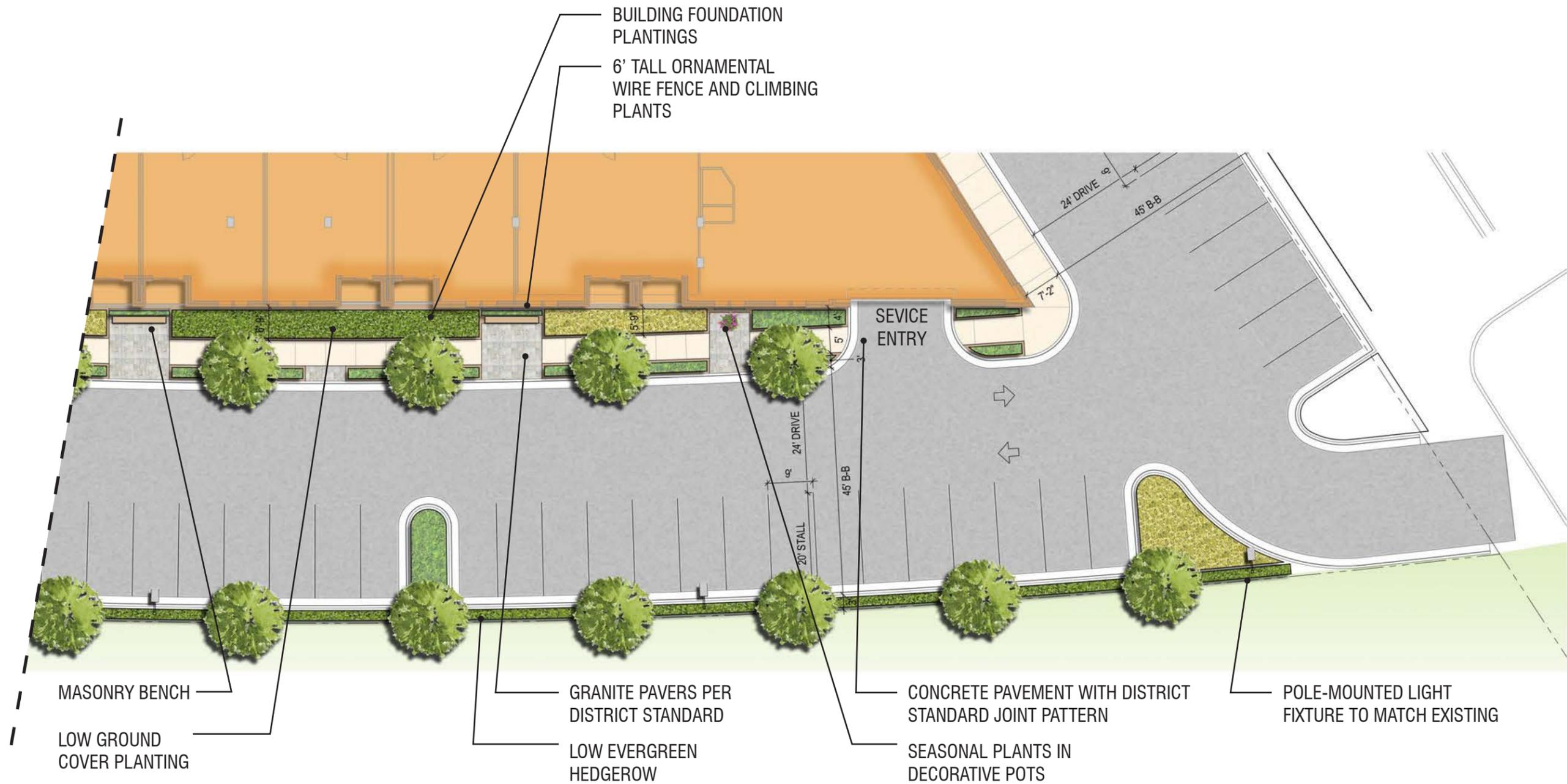
SIX THROUGH EIGHTH FLOORS



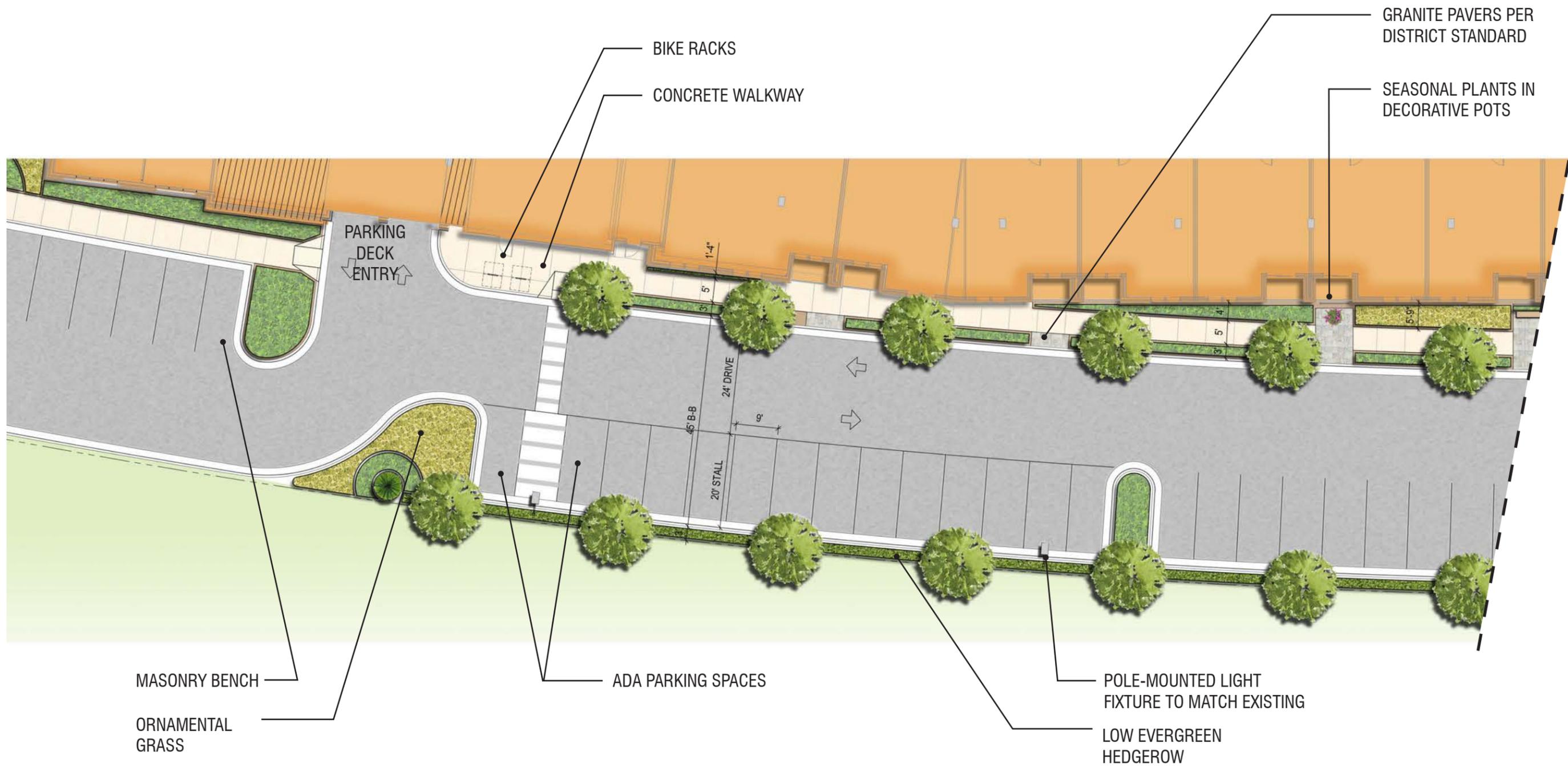




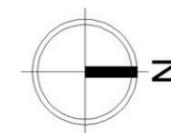
REVISED ELEVATIONS
EAST ELEVATION

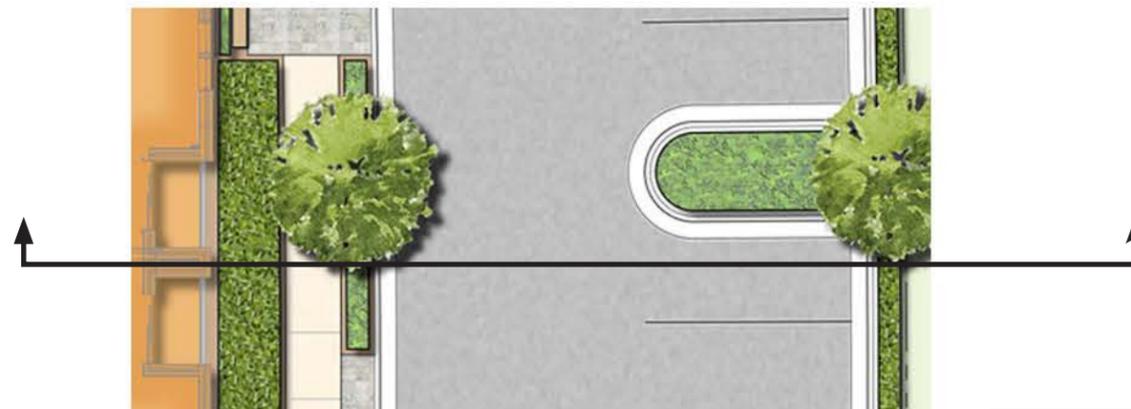
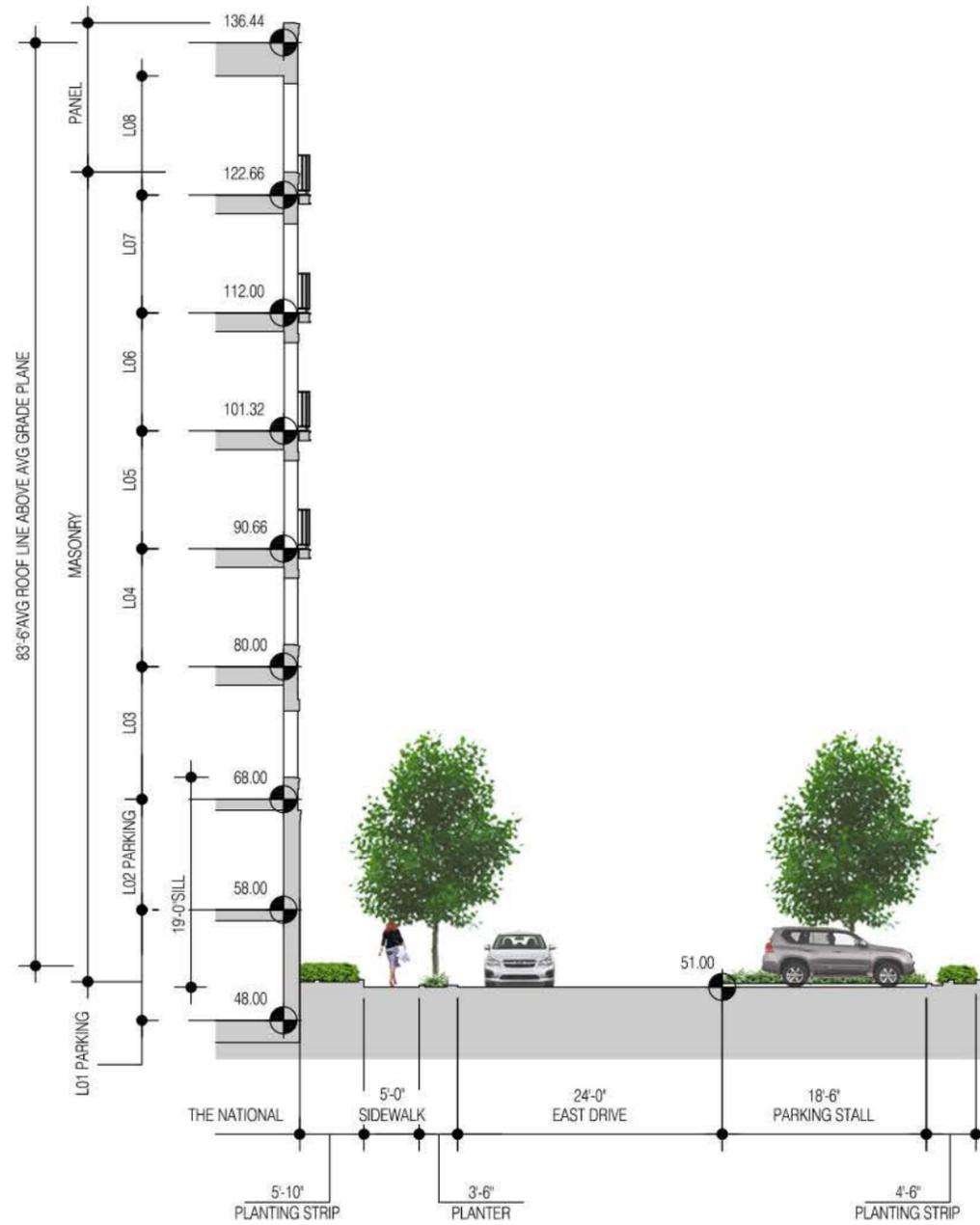


ENLARGED SITE PLAN - EAST DRIVE (NORTH)

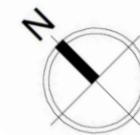


ENLARGED SITE PLAN - EAST DRIVE (SOUTH)



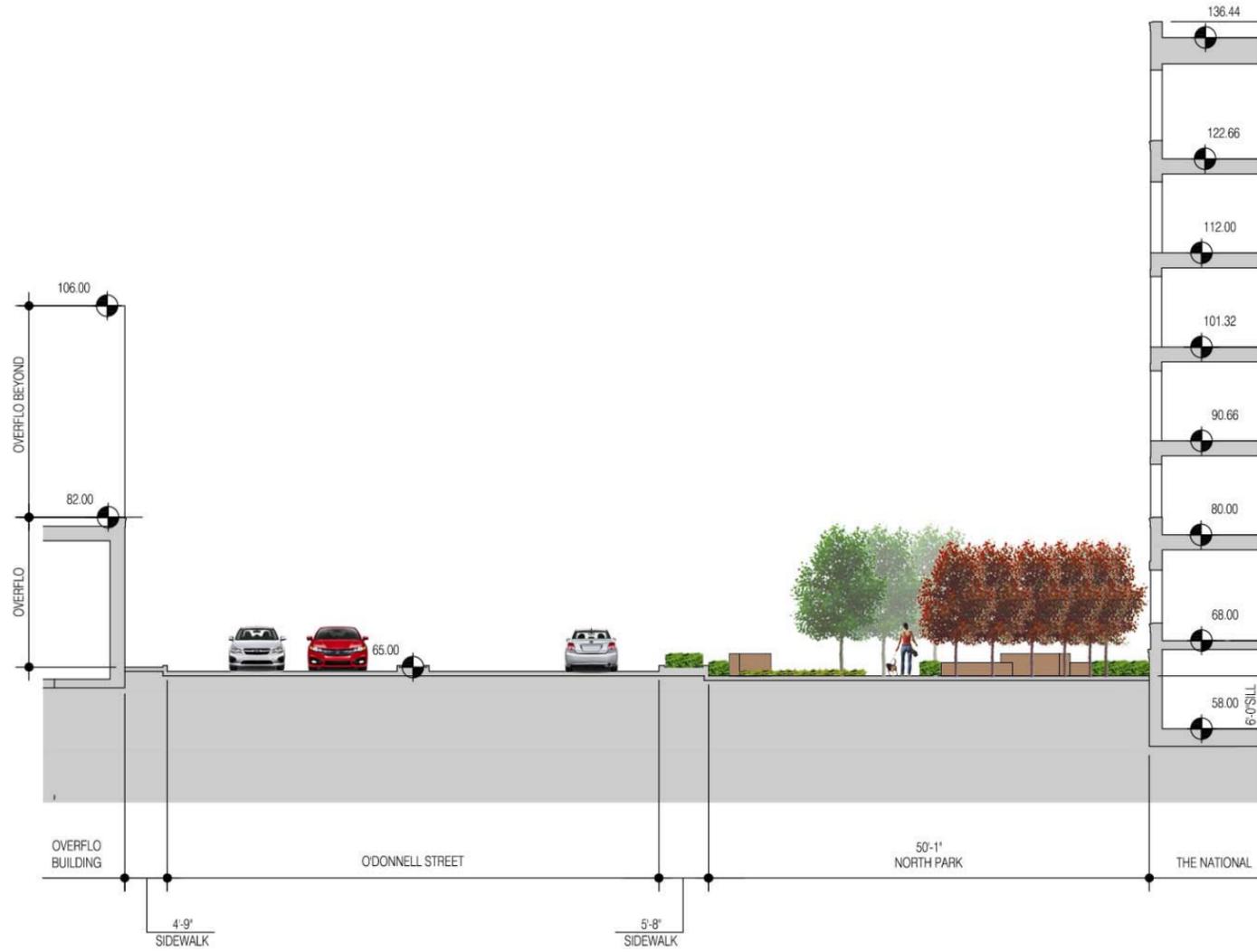


EAST DRIVE STREET SECTION

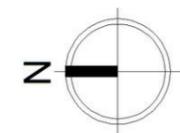


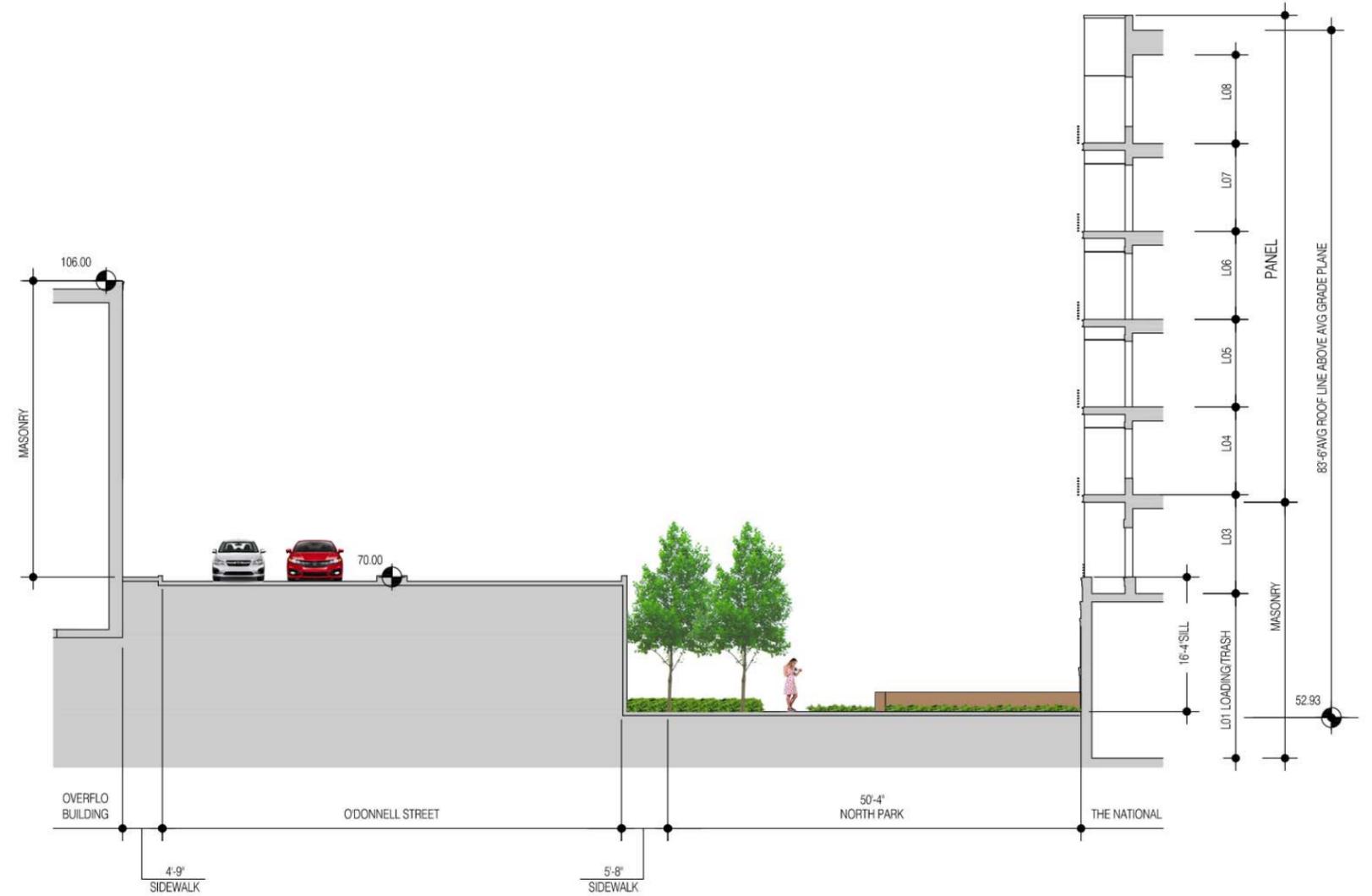
O'DONNELL STREET BRIDGE



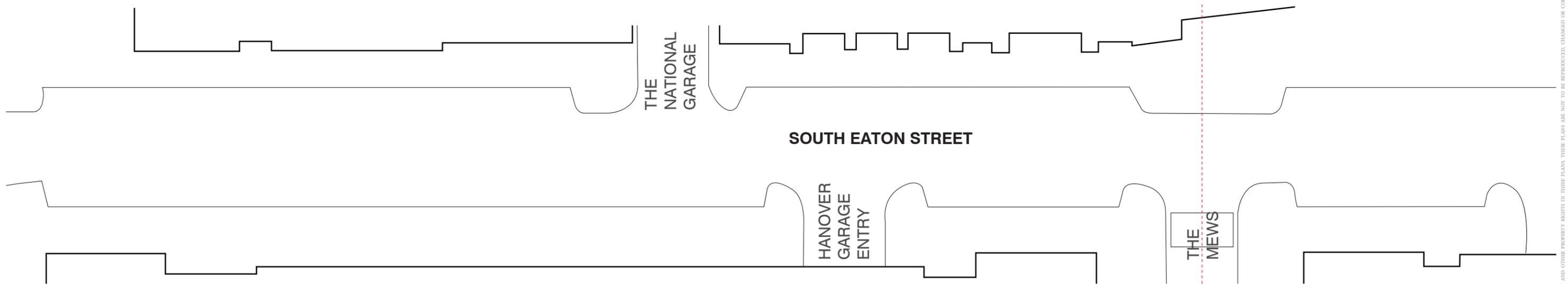


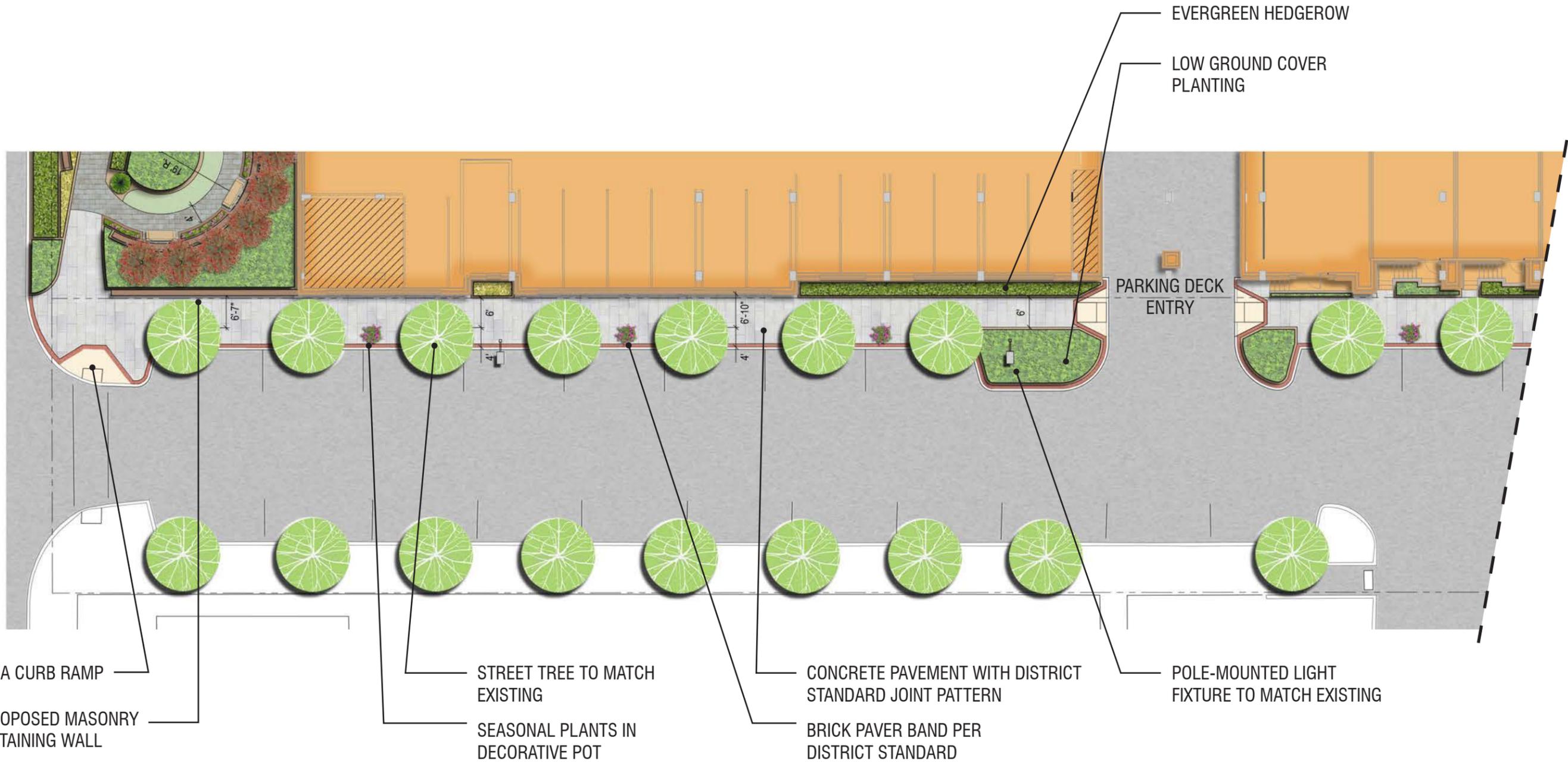
O'DONNELL STREET SECTION



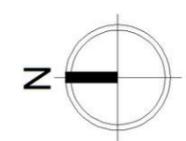


O'DONNELL STREET SECTION

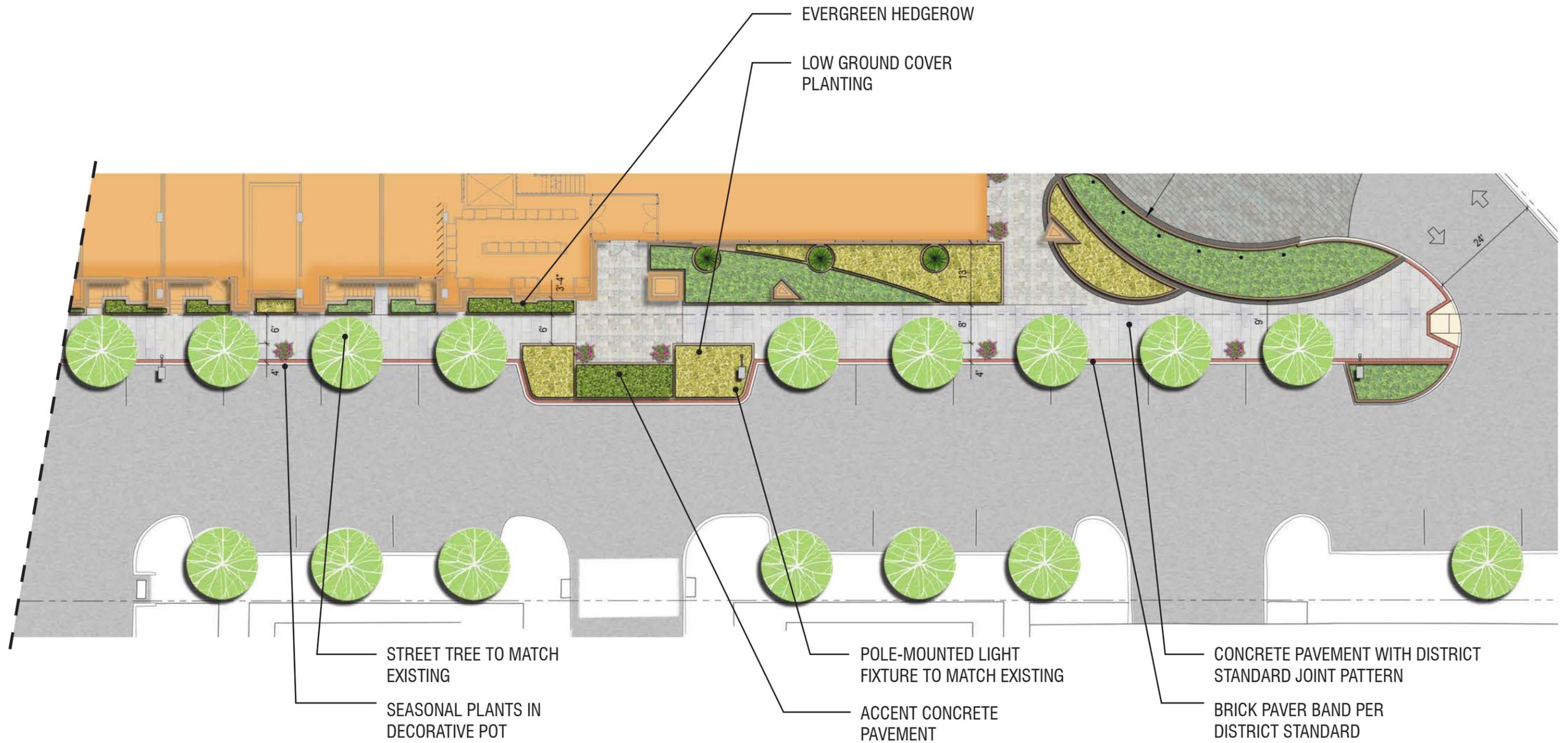




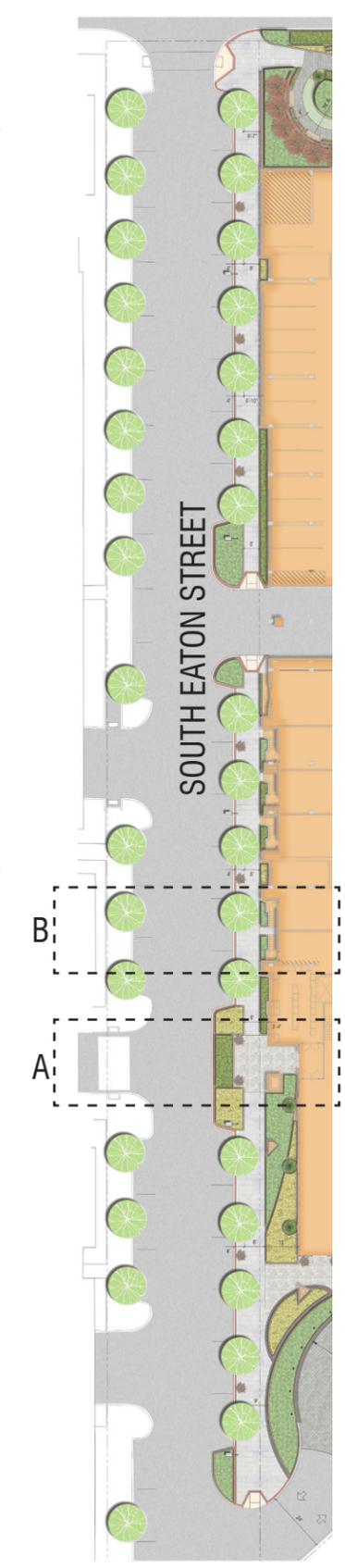
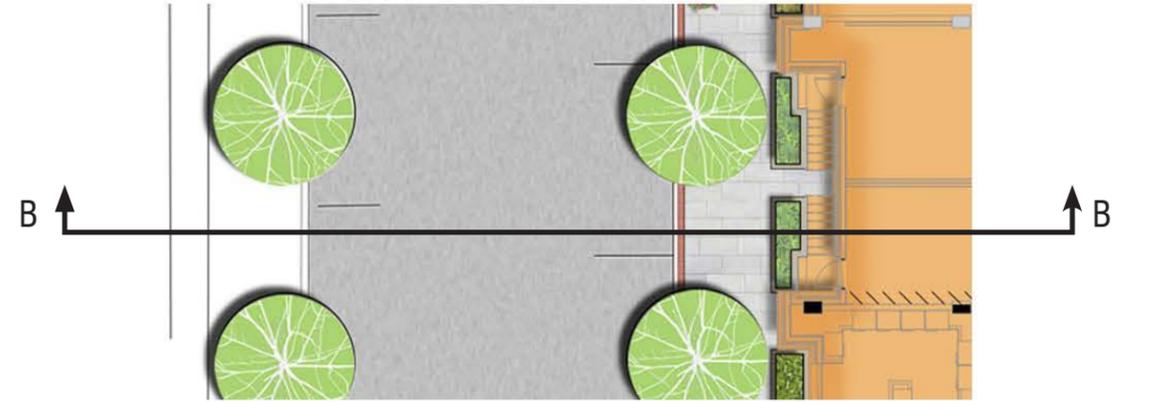
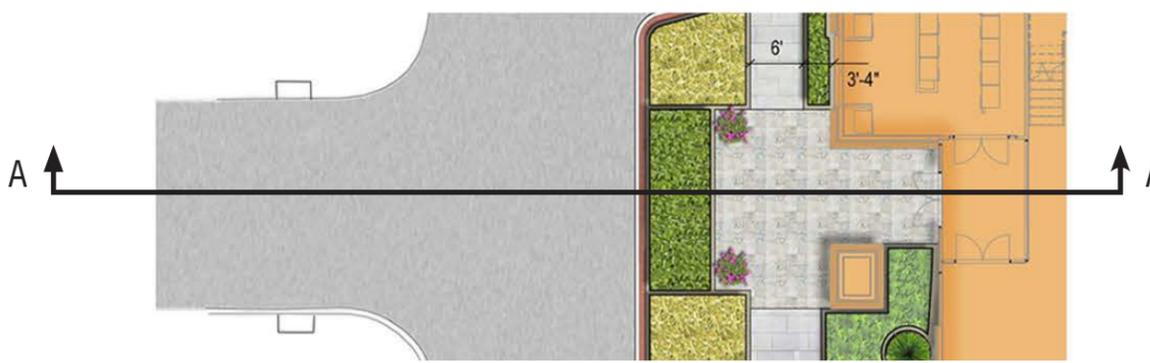
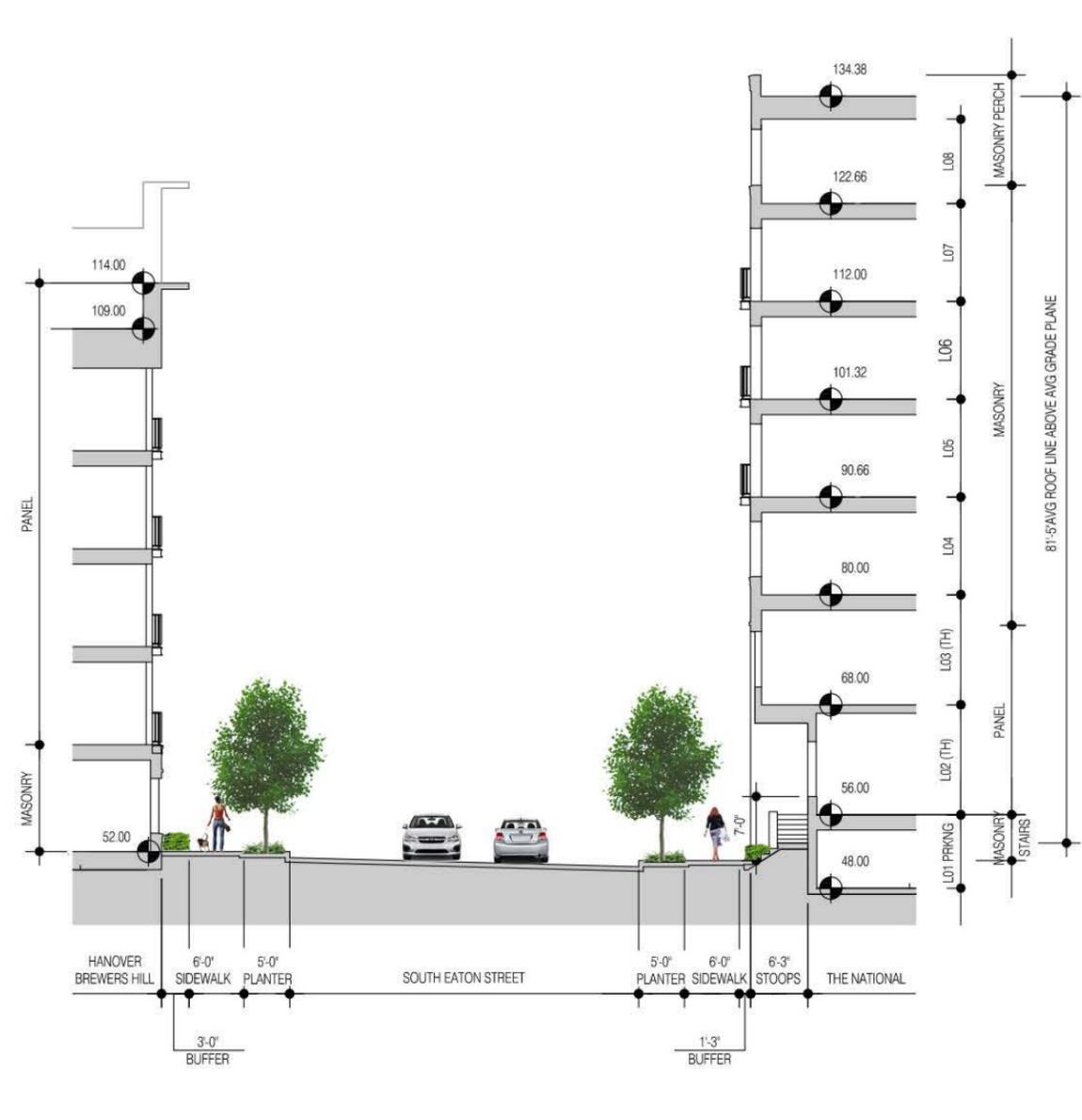
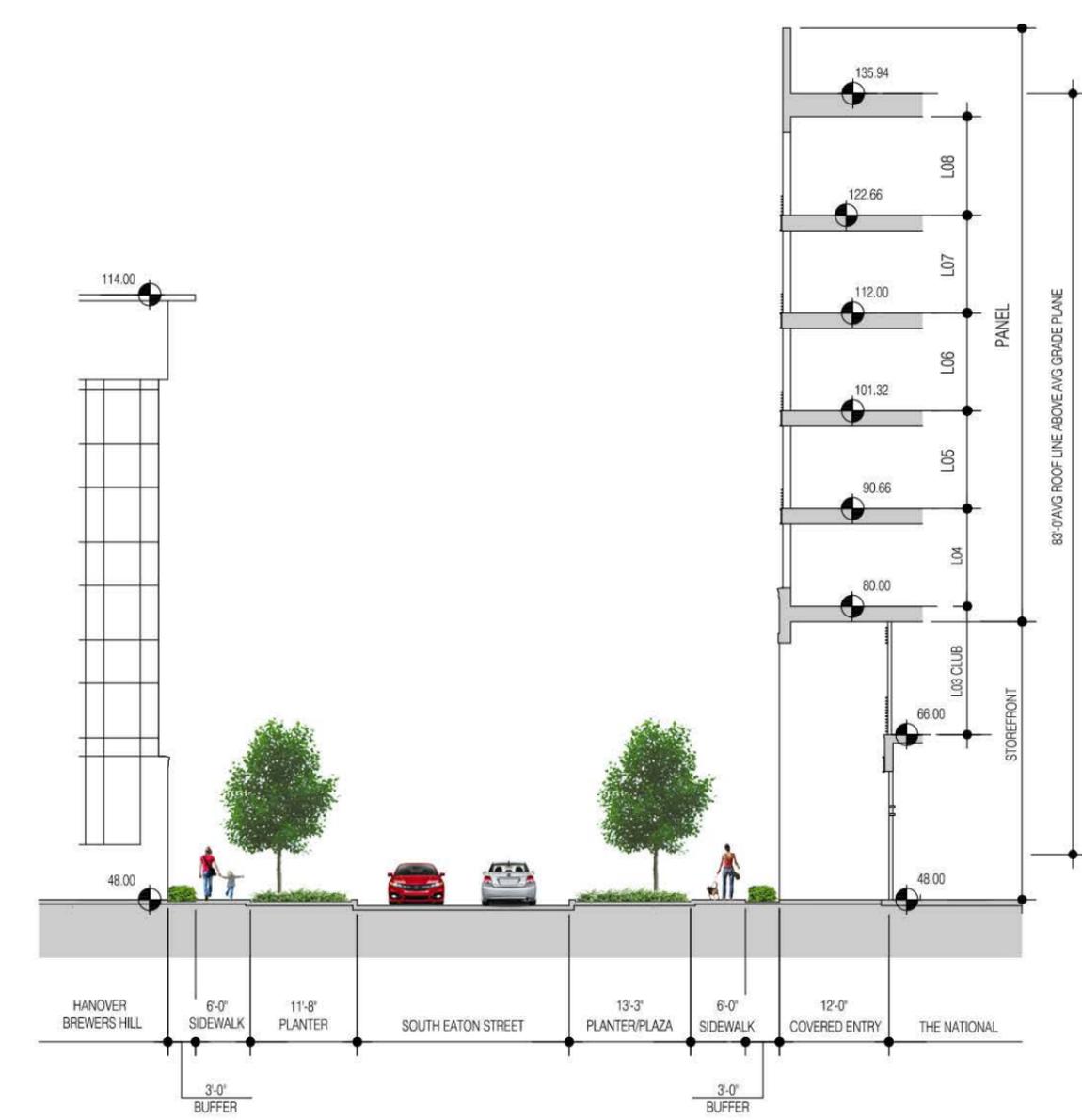
ENLARGED SITE PLAN - SOUTH EATON STREET (NORTH)

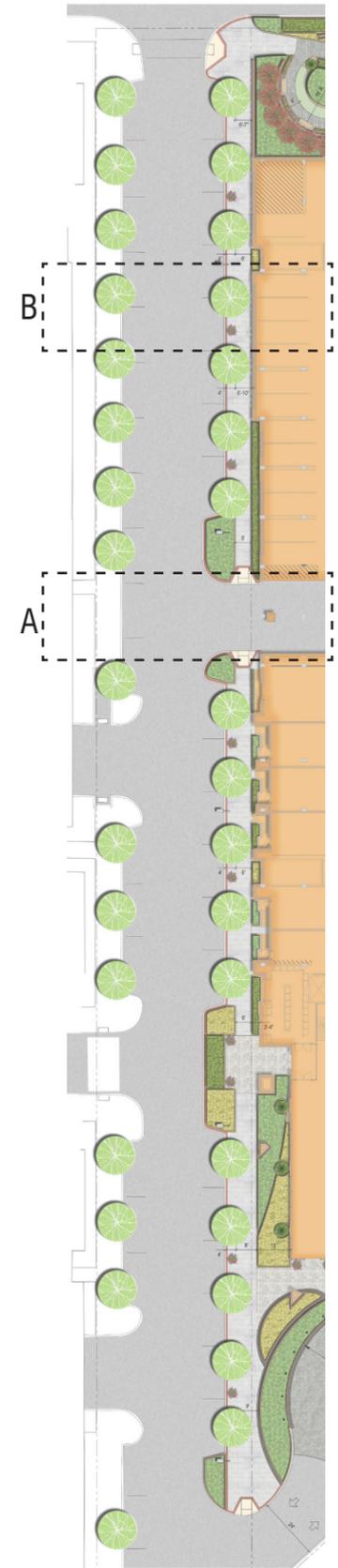
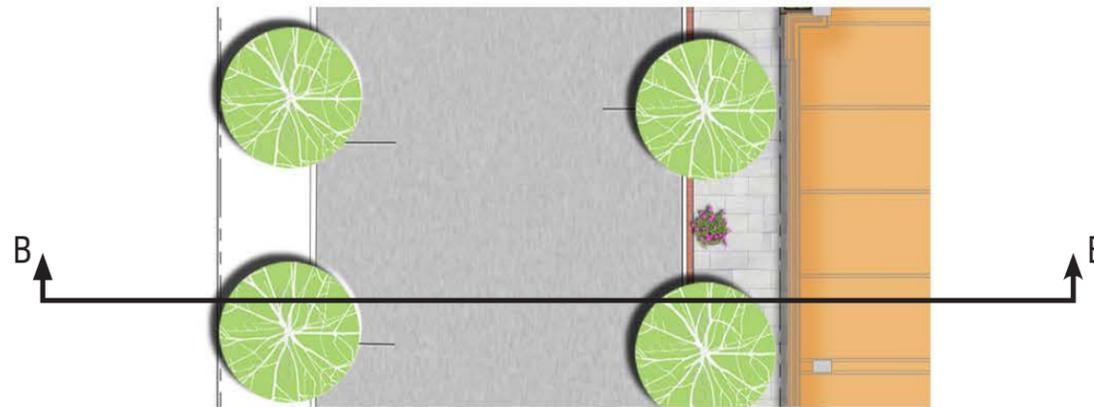
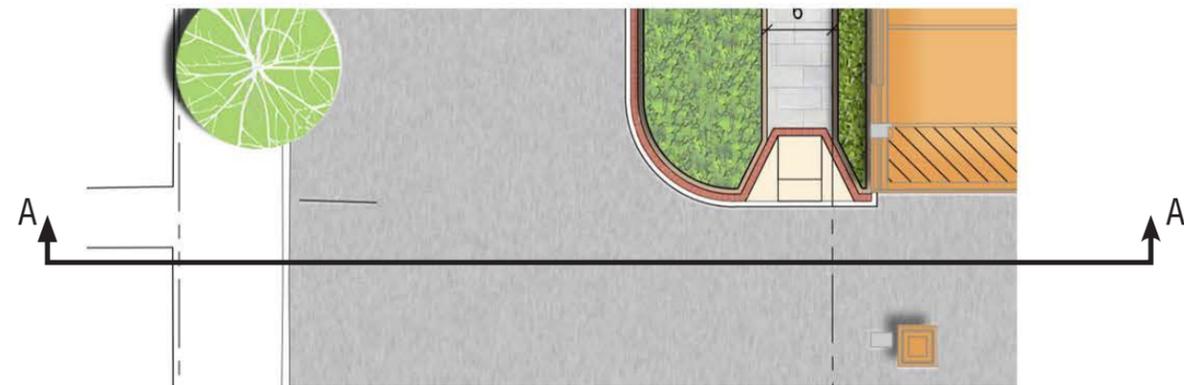
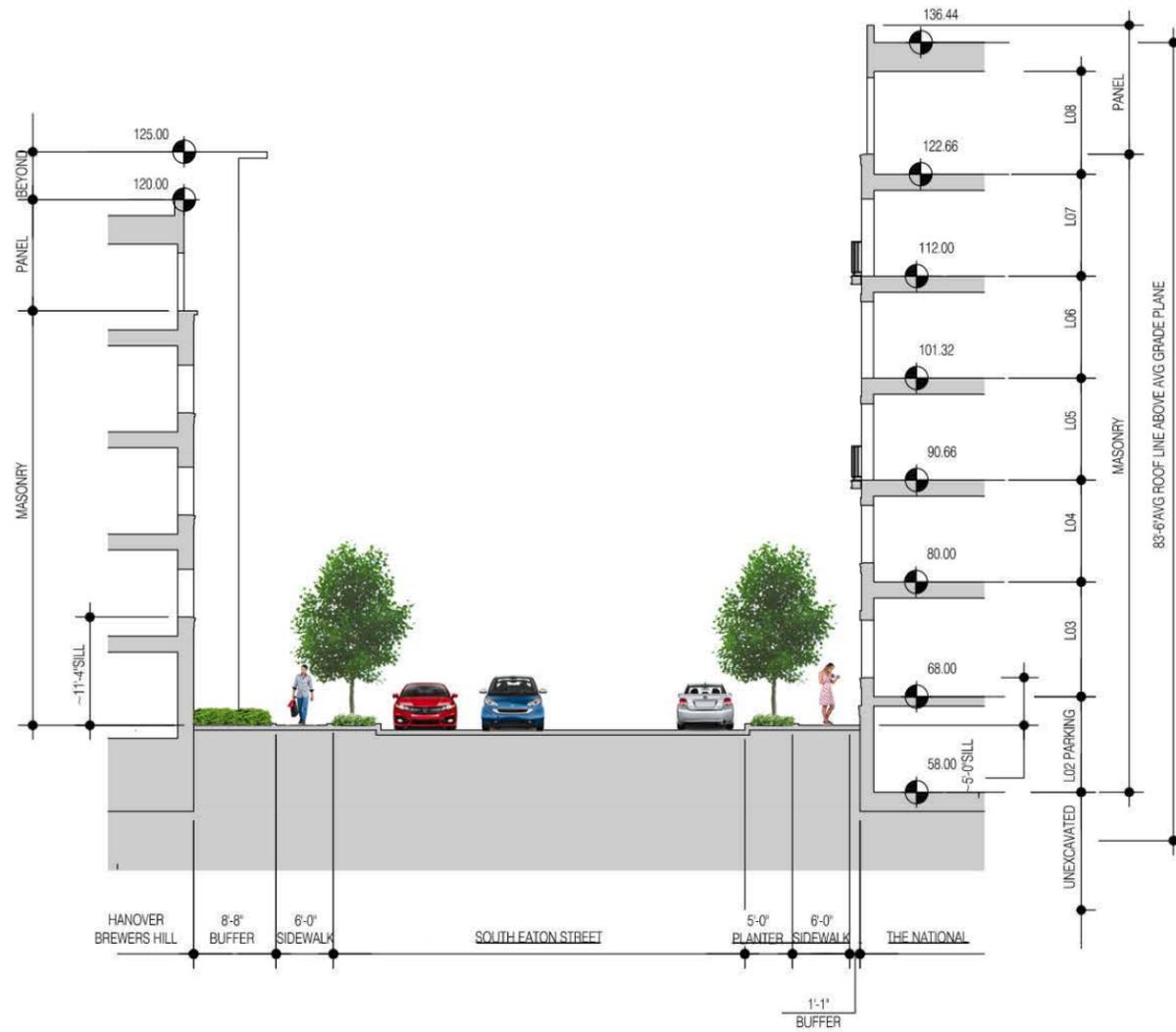
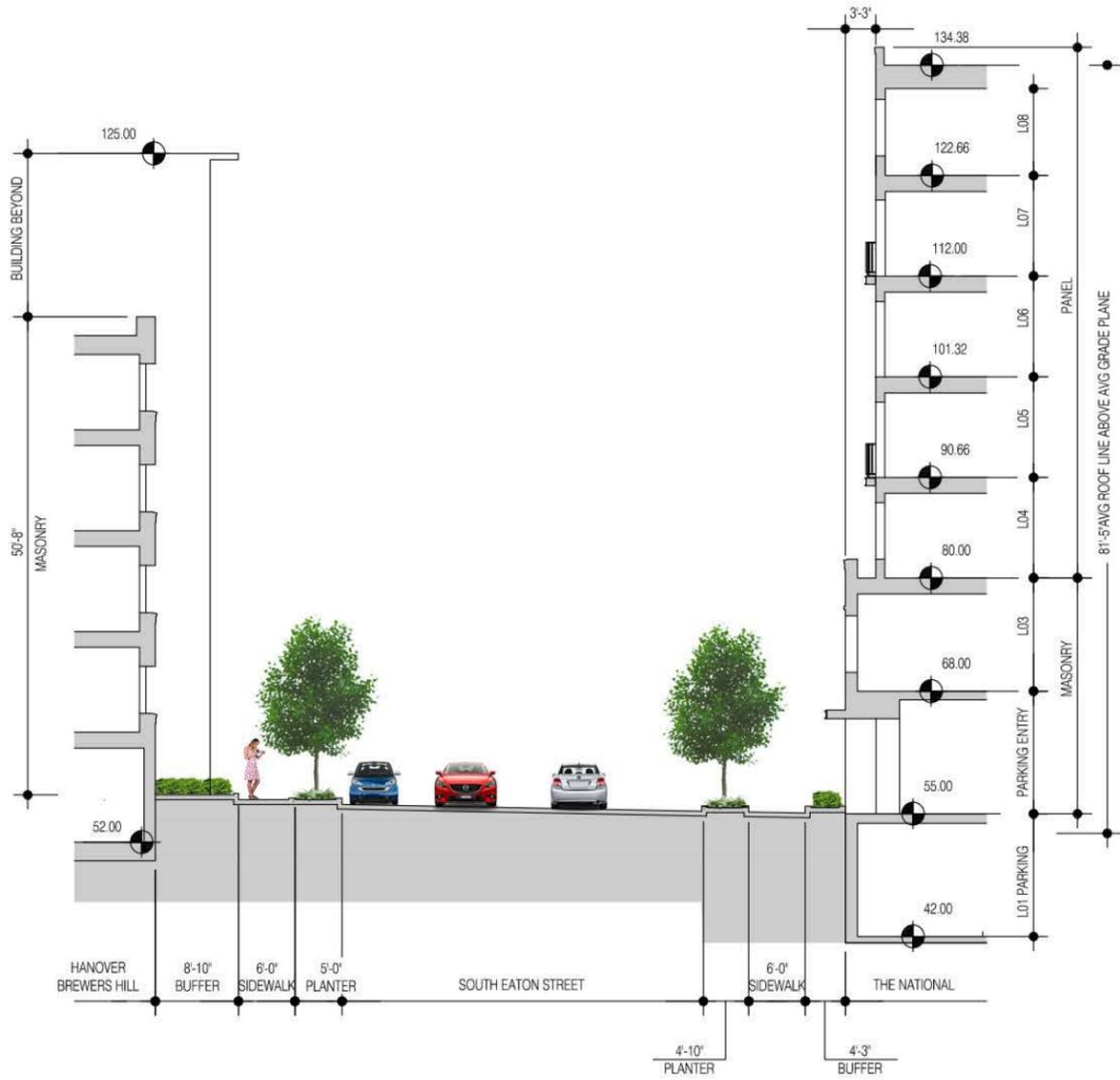


JDAVIS ARCHITECTS EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF JDAVIS ARCHITECTS, PLLC



ENLARGED SITE PLAN - SOUTH EATON STREET (SOUTH)







TALL PYRAMIDAL
PLANTS BETWEEN
WINDOWS

SEASONAL
PLANTS IN
DECORATIVE
POTS

CONCRETE
PAVEMENT WITH
DISTRICT STANDARD
JOINT PATTERN

STREET TREE TO
MATCH EXISTING

POLE MOUNTED
LIGHT FIXTURE TO
MATCH EXISTING

ORNAMENTAL
GRASSES AND / OR
EVERGREEN GROUND
COVER PLANTS

CONCRETE WALKWAY

CONCRETE CURB &
GUTTER

ASPHALT PAVEMENT

LEASING / VISITOR
PARKING

ADA CURB RAMP

MASONRY BENCHES

CONCRETE RAMP AT 5%
SLOPE

GRANITE PAVERS PER
DISTRICT STANDARD

BOLLARD, TYP.

VEHICULAR-RATED
CONCRETE PAVERS

CONCRETE
PAVER BAND
(TYP.)

CONCRETE RAMP AT 5%
SLOPE

ADA CURB RAMP

ASPHALT PAVEMENT

ENLARGED SITE PLAN - SOUTHEAST ENTRY



STREET VIEWS









VIEW FROM MEWS

UDARP COMMENTS + TEAM RESPONSES

LANDSCAPE ISSUE #1 -

Vehicular drop off's relationship to small, highly articulated pedestrian entry plaza. To be conceived as unifying element; "Grand Entry Court"

CURRENT DESIGN



PREVIOUS DESIGN



LANDSCAPE ISSUE #2 -

Lack of connective tissue between what is proposed on South Eaton Street and west of that street. Pedestrian connection from Mews seems unresolved.

CURRENT DESIGN



PREVIOUS DESIGN



LANDSCAPE ISSUE #3 -

Study 12' high masonry base at north end of Eaton Street - pedestrian unfriendly. Reduce impact of service/garage entrances in favor of more human scale openings.

CURRENT DESIGN



PREVIOUS DESIGN



LANDSCAPE ISSUE #4 -

Programming of north open space - linear route but static as a place.

CURRENT DESIGN



PREVIOUS DESIGN



UDARP COMMENTS + TEAM RESPONSES

ARCHITECTURAL ISSUE #1 -

Warehouse aesthetics was 'paper thin' and lacked effective dimensional relief to break down mass. Question whether warehouse aesthetic was appropriate.



ARCHITECTURAL ISSUE #2 -

Reduce scale of South Eaton Street and East Drive through material/color/texture changes and meaningful breaks. Study balconies, kink in building and column forms.

CURRENT DESIGN



PREVIOUS DESIGN



ARCHITECTURAL ISSUE #2 -

Reduce scale of South Eaton Street and East Drive through material/color/texture changes and meaningful breaks. Study balconies, kink in building and column forms.

CURRENT DESIGN



PREVIOUS DESIGN



ARCHITECTURAL ISSUE #3 -

Request more windows on top to create dynamic 'perch' expression.

CURRENT DESIGN



PREVIOUS DESIGN



CURRENT DESIGN



PREVIOUS DESIGN



ARCHITECTURAL ISSUE #4 -

Lack of visual porosity along south facade facing entry plaza. Energize the entry plaza

CURRENT DESIGN



PREVIOUS DESIGN



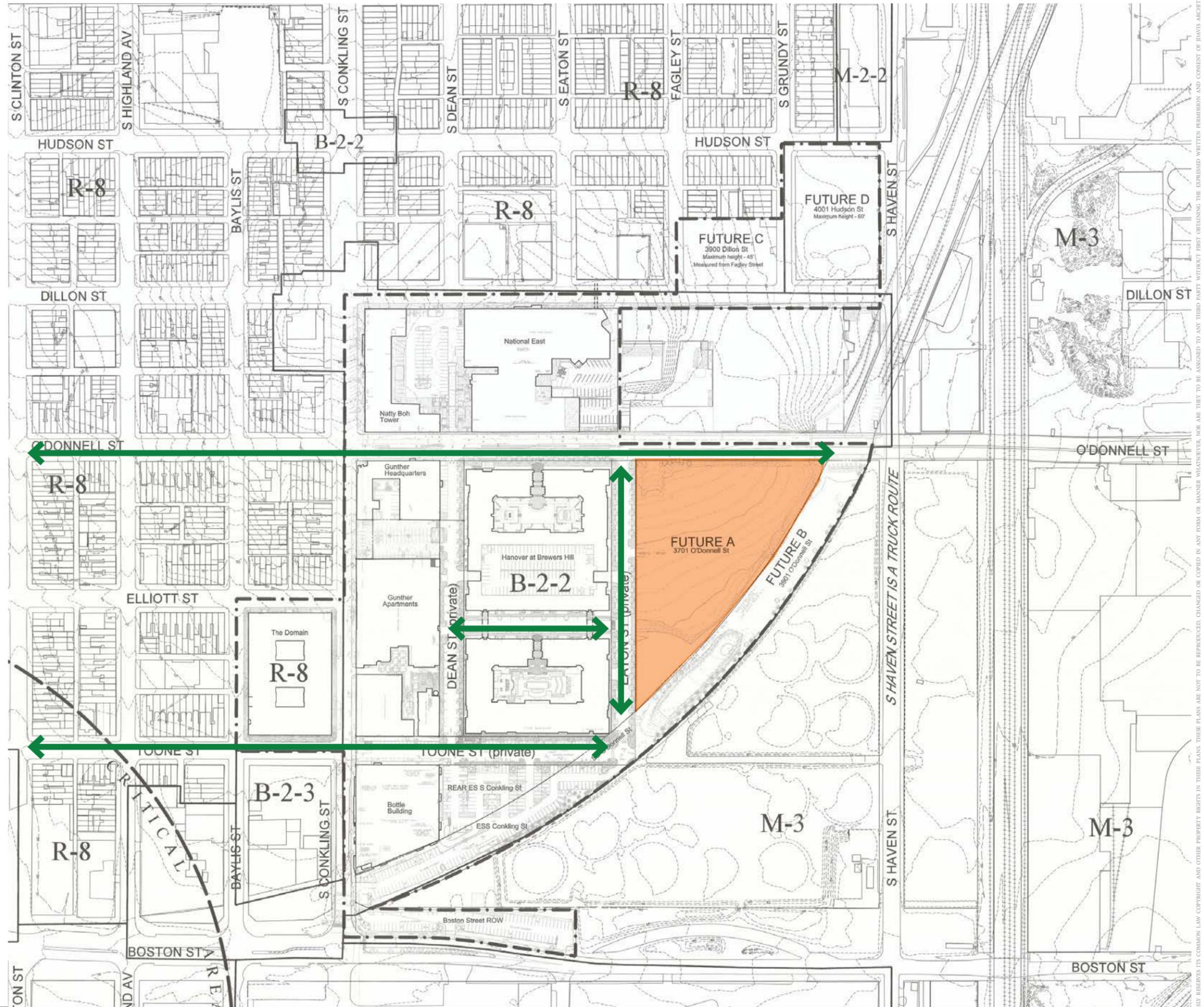
P.U.D. STREETScape REGULATIONS

Eaton Street

1. Promote active pedestrian link with the community.
2. Streetscape shall be designed to accommodate pedestrian activity and to facilitate convenient vehicular access into the Natty Boh entrance to the structured garage on the west side of Eaton Street and into the surface parking lot and any redevelopment thereof on the east side of Eaton Street.
3. Sidewalks shall be designed in accordance with the Site Plan Review Committee drawings attached hereto as Exhibit C-3. Hardscape and paving details shall match the details described above.
4. Street tree spacing shall be 25-30 feet.
5. Street lighting shall be pedestrian oriented and feature the Clipper Mill fixture described above

O'Donnell Street

1. Promote active pedestrian link within the community.
2. Streetscape at any retail/restaurant frontage areas shall be designed to accommodate pedestrian activity and to allow retail/restaurant programs to spill out onto the sidewalk.
3. Sidewalks shall be designed in accordance with the Site Plan Review Committee drawings attached hereto as Exhibit C-3. Hardscape and paving details shall match the details described above.
4. Street tree spacing shall be 25-30 feet.
5. Street lighting shall be pedestrian oriented and feature the Clipper Mill fixture described above.



UDARP COMMENTS + TEAM RESPONSES



JDAVIS > DESIGN
THAT
CONNECTS.